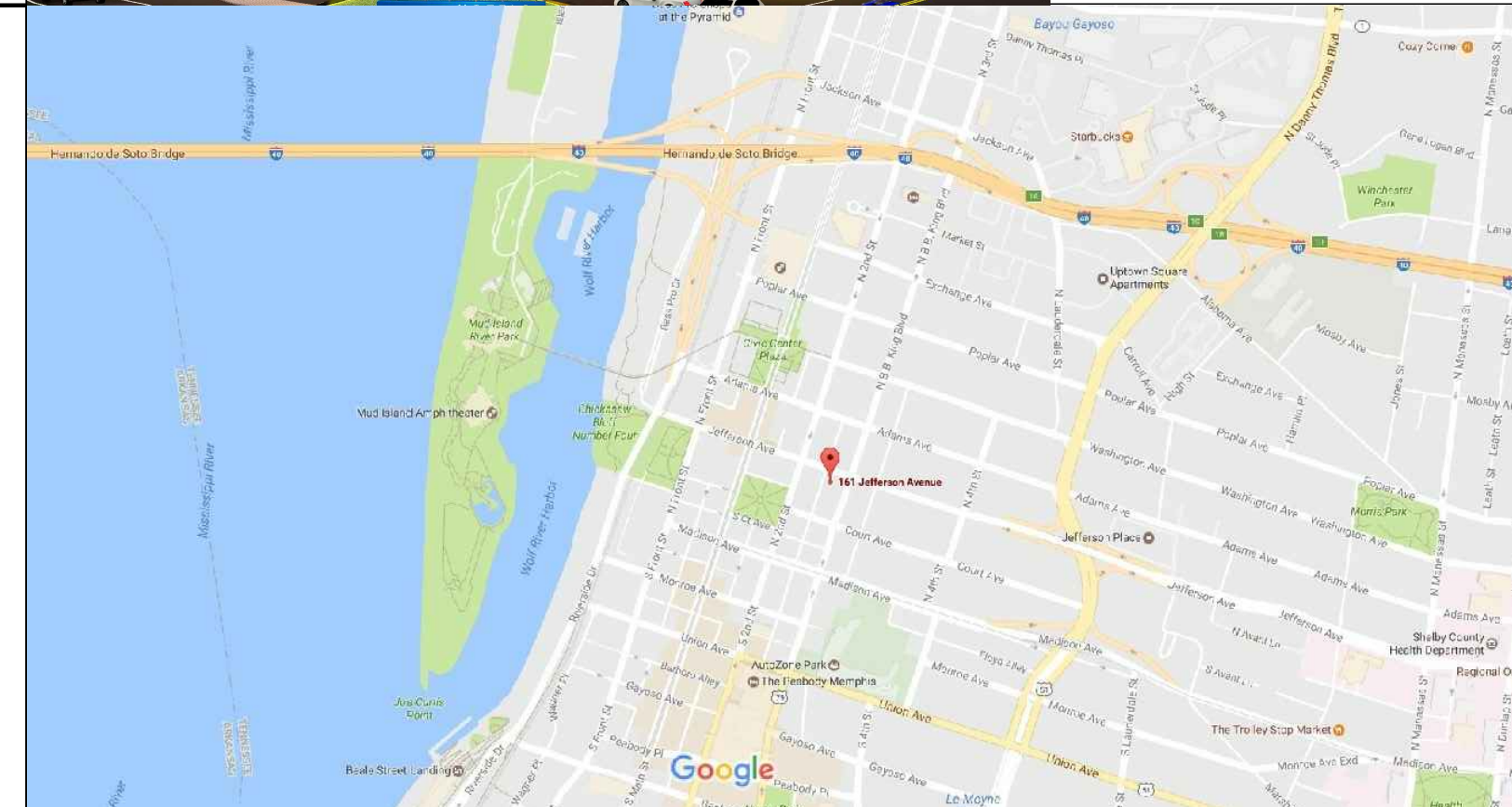


DEMOLITION PACKAGE

ALOFT MEMPHIS DOWNTOWN 63 NORTH B.B. KING BLVD. MEMPHIS, TENNESSEE 38103

PROJECT



VICINITY MAP
SCALE: N.T.S.



DRAWING INDEX

COVER

G000 COVER SHEET

CIVIL

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C 2.0 SITE PLAN
C 3.0 GRADING AND DRAINAGE PLAN
C 4.0 DIMENSION PLAN
C 5.0 SECTION AND DETAILS
C 5.1 SECTION AND DETAILS
C 5.2 SECTION AND DETAILS

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D101 DEMOLITION PLAN - 1st FLOOR
D102 DEMOLITION PLAN - 2nd FLOOR
D103 DEMOLITION PLAN - GUEST FLOOR AND ROOF
D200 DEMOLITION - EXTERIOR ELEVATIONS

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SOUTHAVEN, MS 38671

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EMAIL: vincevaghela@hotmail.com

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JIJI CONSTRUCTION, LLC
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CONTACT:
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CONTRACTOR

JAMES DARRIN WILLIAMS, R.A.
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CHARLOTTE, NC 28270

CONTACT:
JAMES DARRIN WILLIAMS
ARCHITECT OF RECORD
PH: 704-562-1799
EMAIL: JamesDarrinWilliamsArchitect@gmail.com

ARCHITECT OF RECORD

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5820 MAIN ST., SUITE 501
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CONTACT:
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HOTEL & RESORT DESIGNER

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CIVIL ENGINEER
STRUCTURAL ENGINEER

MEP GREEN DESIGN & BUILD, PLLC
17047 EL CAMINO REAL, SUITE 211
HOUSTON, TX 77058

CONTACT:
DUNG VU
PME ENGINEER
PH: 281-786-1195
EMAIL: dungvu@mepgreendesigns.com

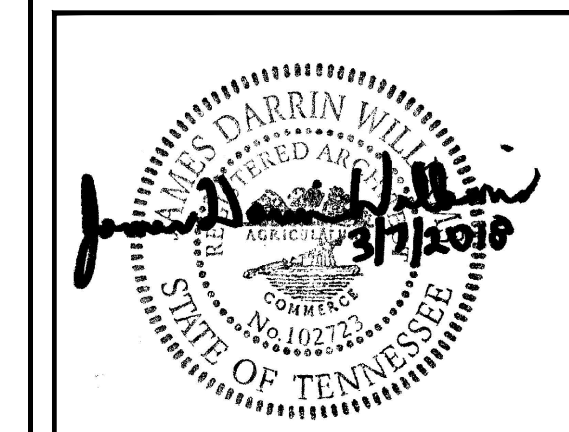
PME ENGINEER OF RECORD

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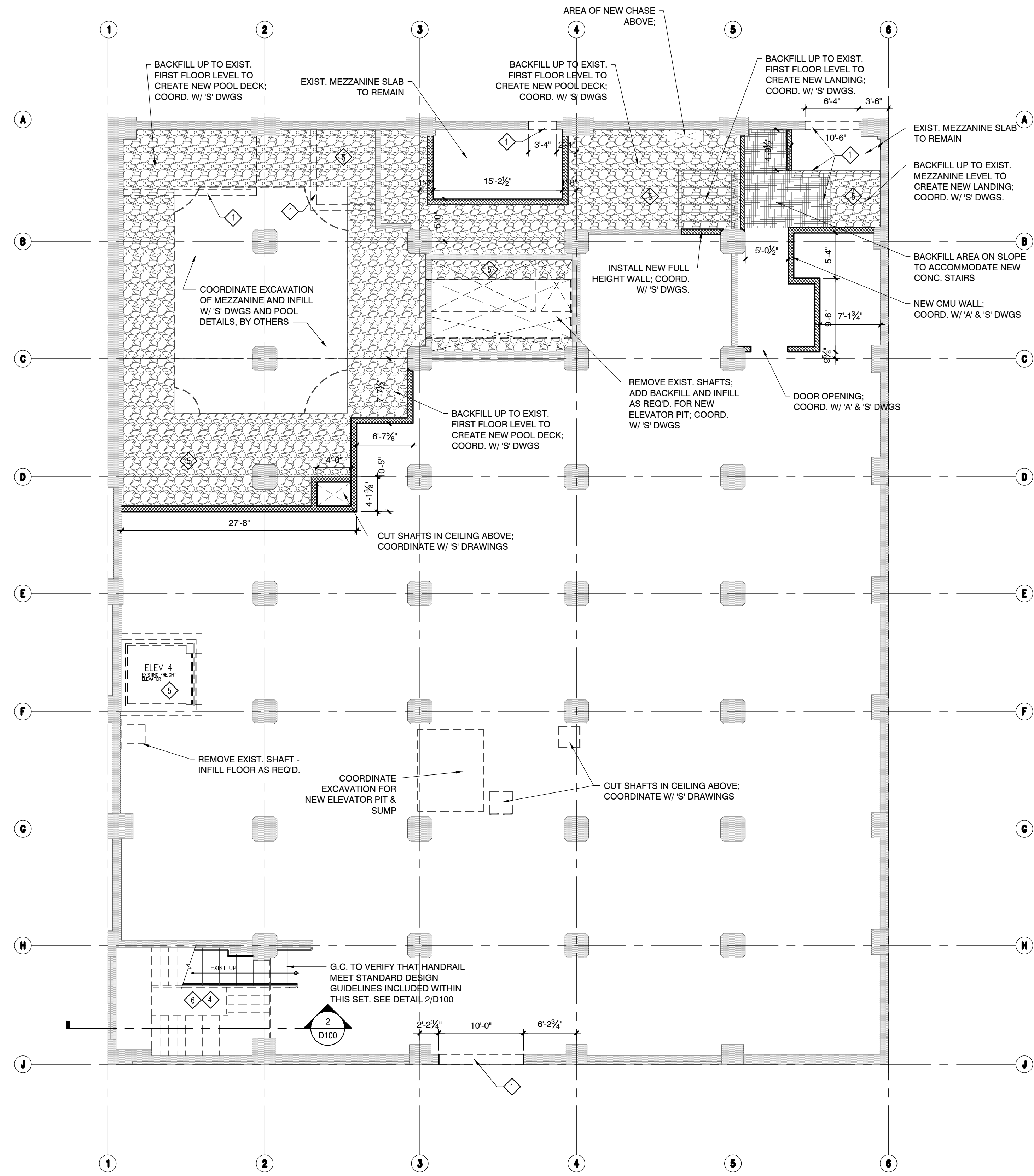
**ALOFT
MEMPHIS
DOWNTOWN**

63 NORTH B.B. KING BLVD.
MEMPHIS, TENNESSEE 38103

PROJECT NO.: 16 006
DATE: 8-4-2017
DRAWN BY: RS, BS, MV, AN
CHKD. BY: MWT

COVER SHEET

SHEET D-G000



1 DEMOLITION PLAN-SERVICE LEVEL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- G.C. IS TO COORDINATE BUILDING EXITING REQUIREMENTS WITH FIRE MARSHAL DURING DEMOLITION.
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- UNDERSIDE OF CONCRETE FLOOR TO BE PATCHED/REPAIRED AND FREE FROM ANY DEBRIS.
- EXISTING FLOOR SHALL BE PREPPED TO RECEIVE NEW FINISH FLOORING. THIS INCLUDES THE REMOVAL OF ANY EXIST. FLOOR TILE, AND PATCH/REPAIRING OF CONCRETE. A MIN. 1/4" TOPPING SHALL BE APPLIED TO ALL EXIST. FLOOR SLABS AS REQ'D. TO LEVEL OR COVER MAJOR PATCH/REPAIR WORK.
- ALL DOORS, FRAMES AND HARDWARE SHALL BE REMOVED. G.C. TO PROVIDE TEMPORARY BUILDING SECURITY.
- ALL WINDOWS AND FRAMES SHALL BE REMOVED

PLAN KEYED NOTES

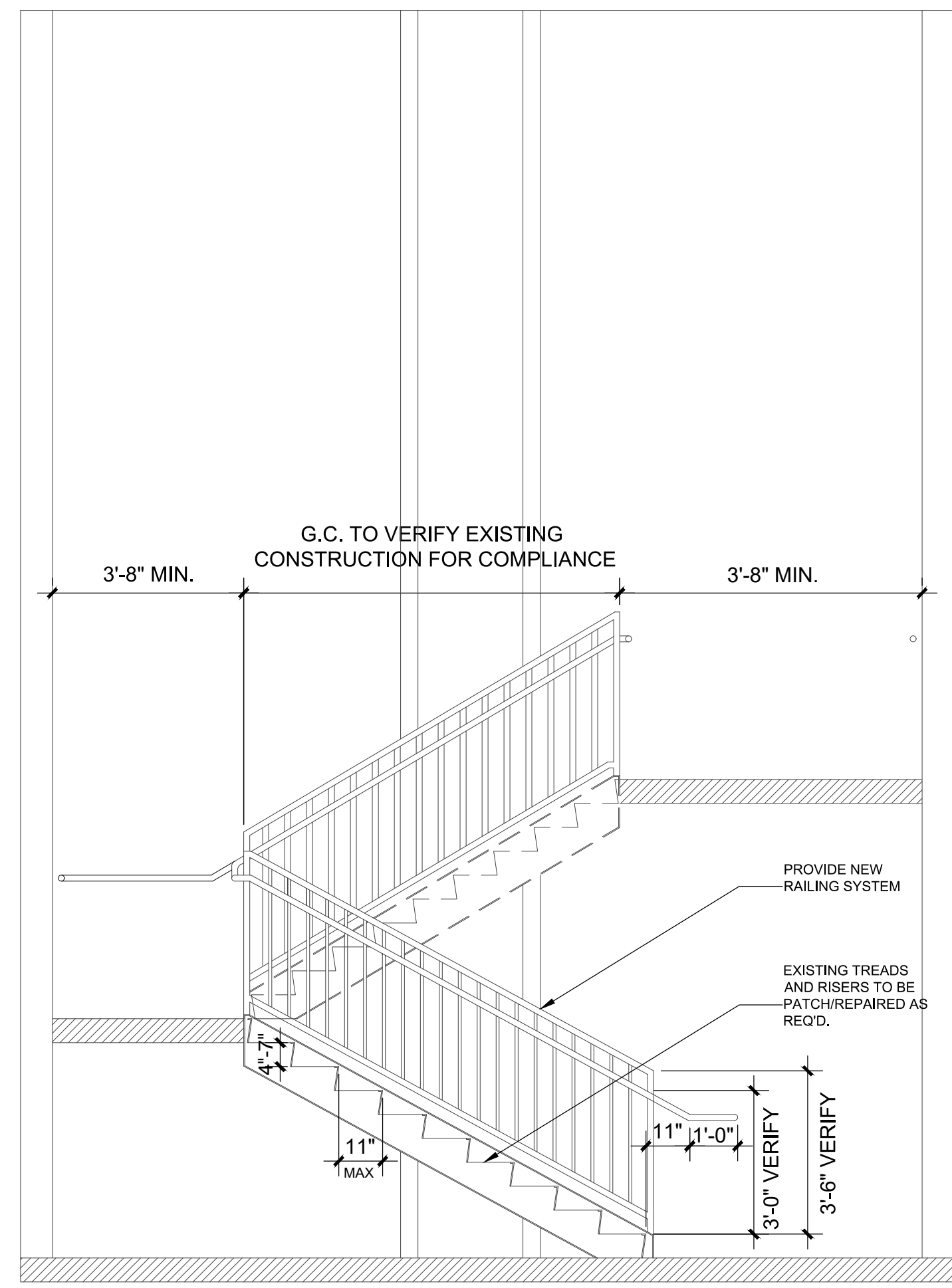
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1	REV. 90% REVIEW		
	COMMENTS	04/24/19	AVK

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DEMOLITION NOTE: Examine the proposed design and structural demolition documents before starting the demolition of the existing exterior perimeter walls. Any demolition of the exterior wall must be done carefully that results in a relatively clean and smooth surface and to maintain the structural integrity of the remaining walls.

- Maintain the existing exterior concrete and masonry perimeter walls, including the concrete spandrels as well as existing window openings as per the structural documents. Where the structural integrity of the existing walls are in question or the walls and/or spandrels are substantially damaged, contact the structural engineer immediately.
- Install the metal steel studs with deflection runner under the slab. Fill the stud cavity with batt insulation. Where the existing wall is thicker below the window, install hat channel furring to anchor the gypsum board and align with the gypsum board above.
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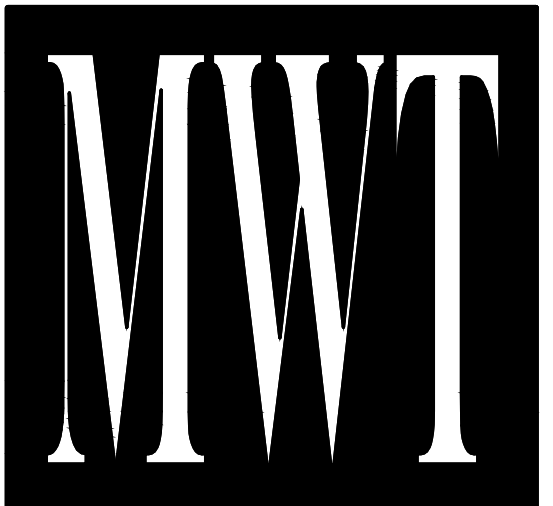


2 EXISTING STAIR SECTION @ BASEMENT
SCALE: 3/8" = 1'-0"

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**ALOFT
MEMPHIS
DOWNTOWN**

63 NORTH B.B. KING BLVD.
MEMPHIS, TENNESSEE 38103

PROJECT NO.: 16 006
DATE: 8-4-2017
DRAWN BY: RS, BS, MV, AN
CHKD. BY: MWT

**DEMOLITION
PLAN-SERVICE
LEVEL**

SHEET D100

PLAN KEYED NOTES

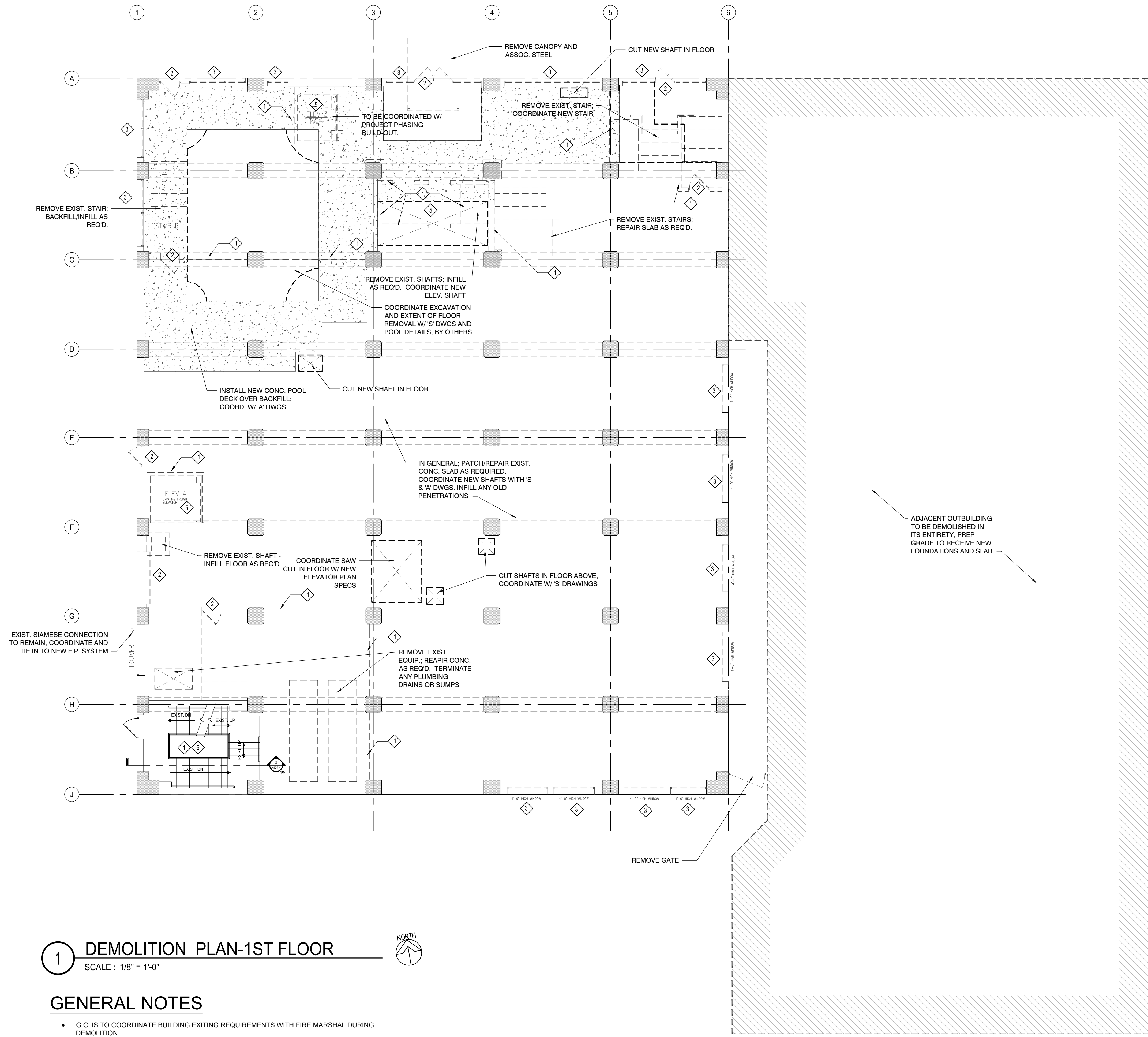
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1 DEMOLITION PLAN-1ST FLOOR

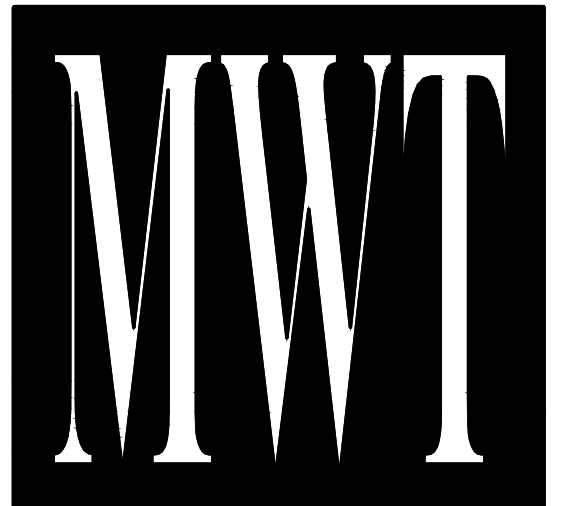
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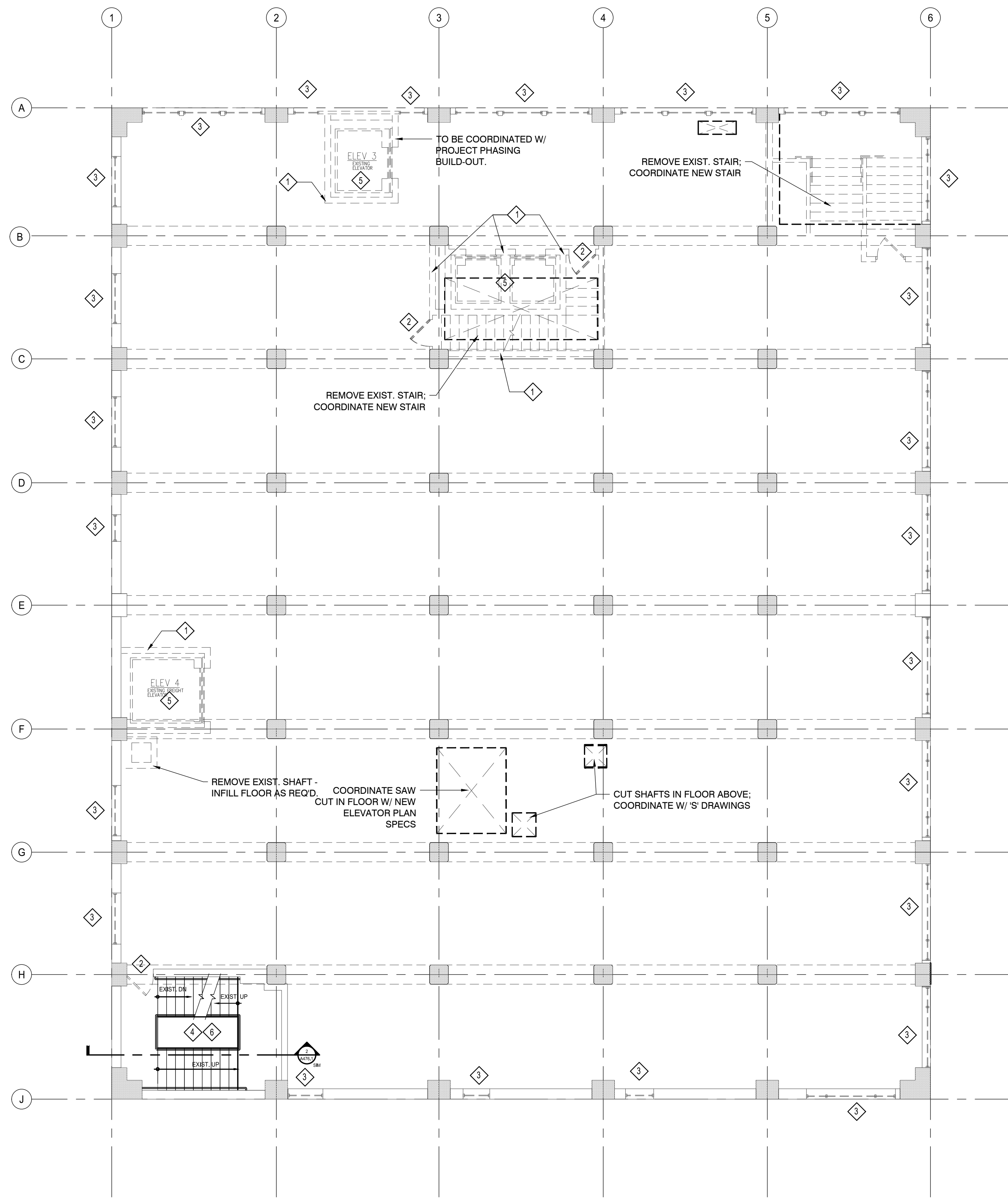
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CHKD. BY: MWT

**DEMOLITION
PLAN- 1st FLOOR**

SHEET **D101**



PLAN KEYED NOTES

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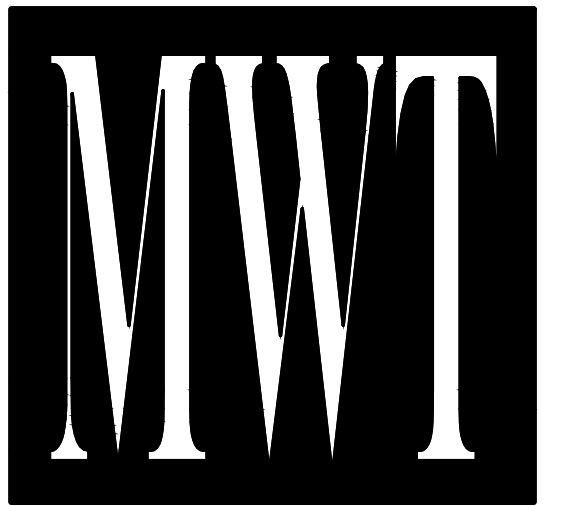
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1 DEMOLITION PLAN-2nd THRU 4th FLOOR
 SCALE : 1/8" = 1'-0"
 NORTH PLAN NORTH

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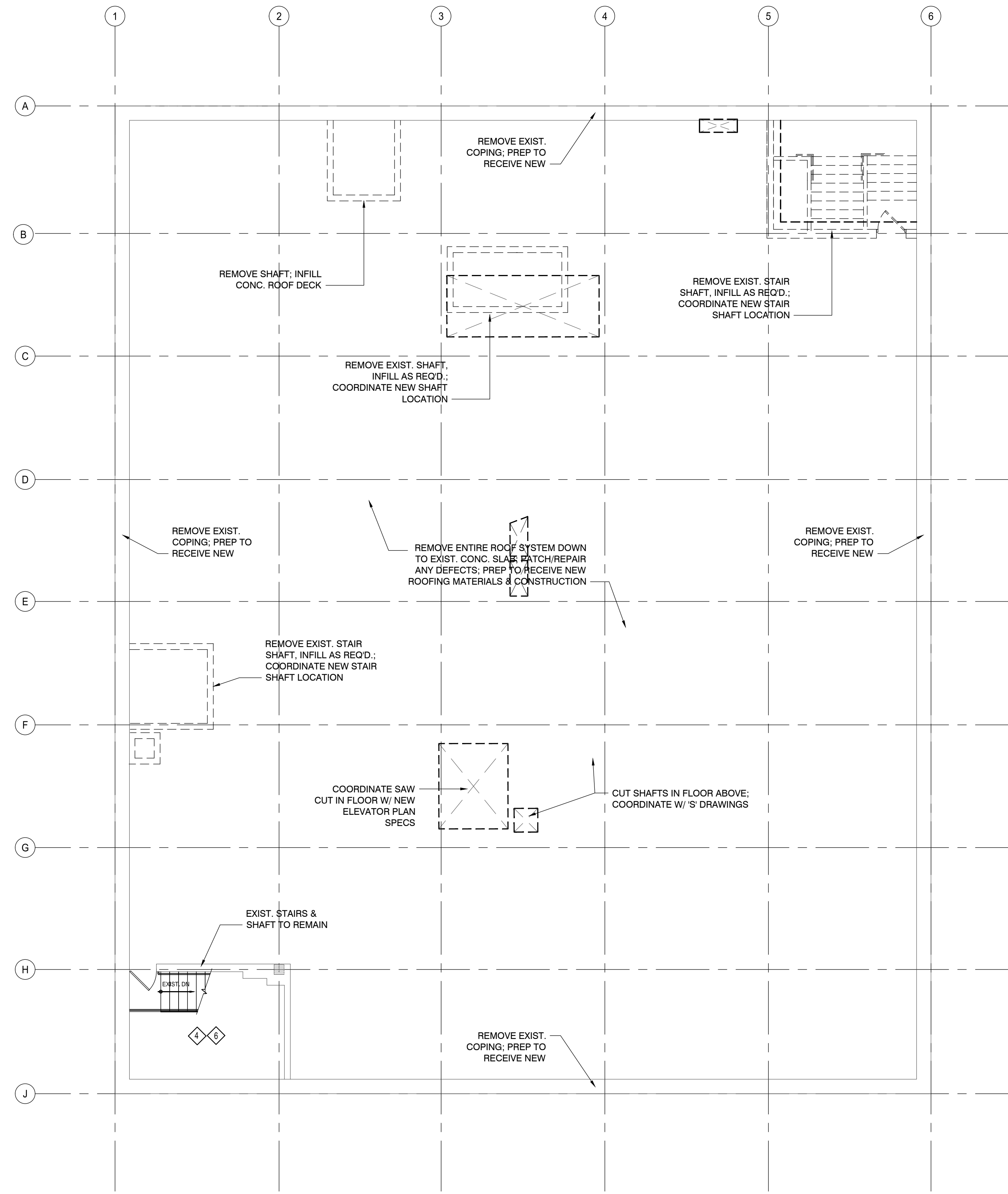
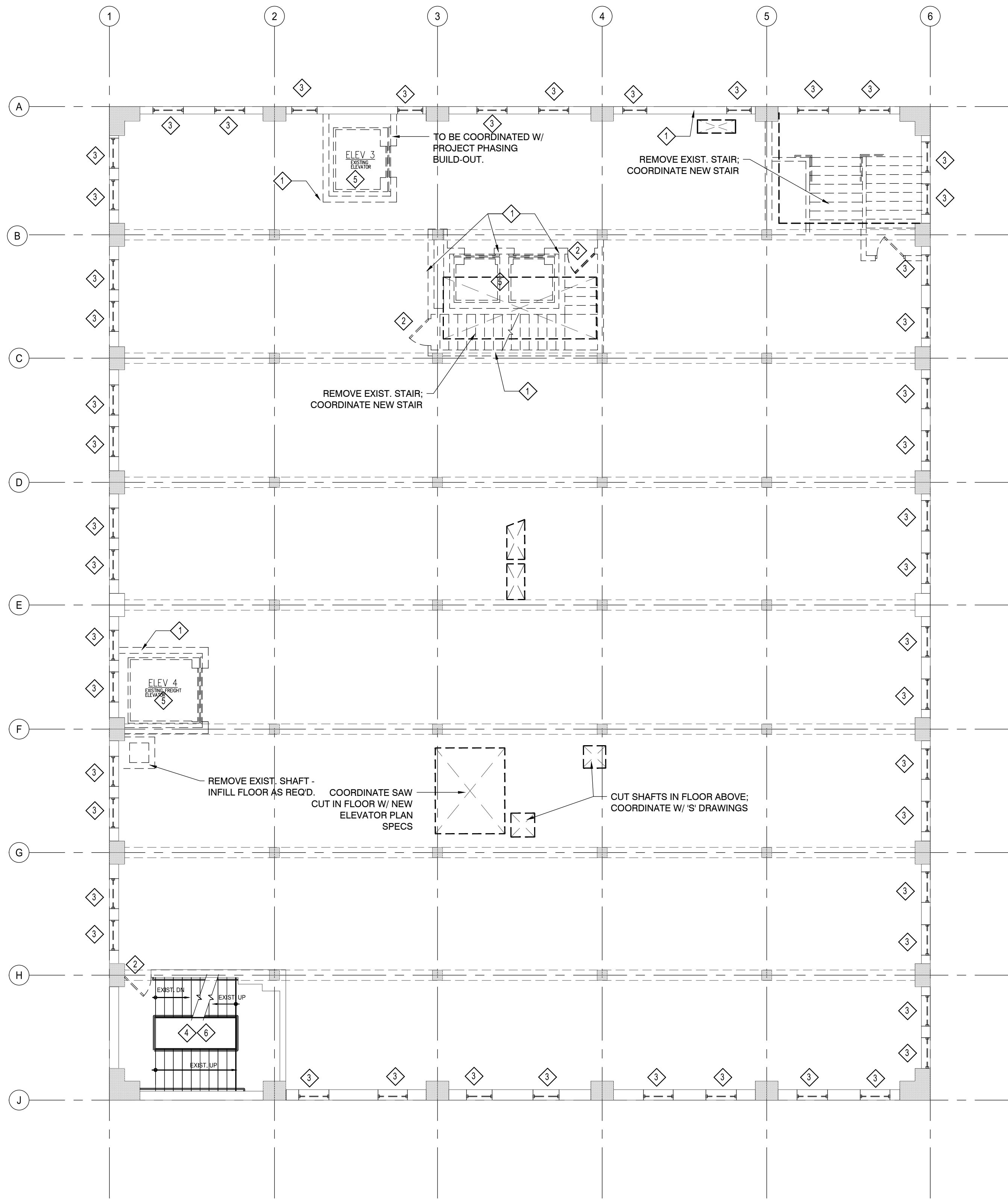
63 NORTH B.B. KING BLVD.
 MEMPHIS, TENNESSEE 38103

PROJECT NO.: 16 006
 DATE: 8-4-2017
 DRAWN BY: RS, BS, MV, AN
 CHKD. BY: MWT

DEMOLITION PLAN- 2nd THRU 4th FLOOR

SHEET D102

NO.	DESCRIPTION	DATE	BY
-	ISSUED FOR DEMOLITION	06/09/17	MV
-	ISSUED TO FRANCHISE	06/09/17	MV
-	ISSUED FOR BID (ID ONLY)	07/21/17	MV
-	ISSUED TO FRANCHISE	08/17/17	MV
-	ISSUED FOR PERMIT	08/04/17	MV
-	FOR FINAL APPROVAL	10/02/17	MV
-	ISSUED FOR PERMIT	11/28/17	MV
-	RE-ISSUED FOR PERMIT	03/07/18	AN
-	REV. DETAILS ON A700.2	06/04/18	AVK
1	REV. 90% REVIEW COMMENTS	04/24/19	AVK



1 DEMOLITION PLAN-5th FLOOR AND UP
SCALE: 1/8" = 1'-0"

2 DEMOLITION PLAN - ROOF
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- G.C. IS TO COORDINATE BUILDING EXITING REQUIREMENTS WITH FIRE MARSHAL DURING DEMOLITION.
- IF STAIR IS TO BE DEMOLISHED, G.C. TO GET APPROVAL FOR SINGLE STAIR EXIT DURING DEMOLITION.
- CONTRACTOR TO VERIFY LOCATION OF UTILITY MAINS.
- CONTRACTOR TO ENSURE ENTIRE BUILDING HAS UNDERGONE ASBESTOS ABATEMENT PROCEDURES PRIOR TO THE COMMENCING OF ANY WORK.
- UNDERSIDE OF CONCRETE FLOOR TO BE PATCHED/REPAIRED AND FREE FROM ANY DEBRIS.
- EXISTING FLOOR SHALL BE PREPPED TO RECEIVE NEW FINISH FLOORING, THIS INCLUDES THE REMOVAL OF ANY EXIST. FLOOR TILE, AND PATCH/REPAIRING OF CONCRETE. A MIN. 1/2" TOPPING SHALL BE APPLIED TO ALL EXIST. FLOOR SLABS AS REQ'D. TO LEVEL OR COVER MAJOR PATCH/REPAIR WORK.
- ALL DOORS, FRAMES AND HARDWARE SHALL BE REMOVED. G.C. TO PROVIDE TEMPORARY BUILDING SECURITY.
- ALL WINDOWS AND FRAMES SHALL BE REMOVED.

PLAN KEYED NOTES

- 1 REMOVE EXIST. WALL
- 2 REMOVE EXIST. DOOR/FRAME
- 3 REMOVE EXIST. WINDOWS
- 4 REMOVE ANY NON-COMPLIANT HANDRAILS
- 5 REMOVE ELEVATOR SHAFT AND ANY ASSOCIATED EQUIPMENT, INCLUDING SUMPS. INFILL FLOOR AS REQ'D.
- 6 EXISTING STAIRS TO REMAIN; G.C. TO VERIFY THAT EXIST. HANDRAIL MEETS OR EXCEED STANDARD HANDRAIL DETAILS PROVIDED IN THIS DRAWING SET.

Aloft, Memphis - Notes for Exterior Walls:

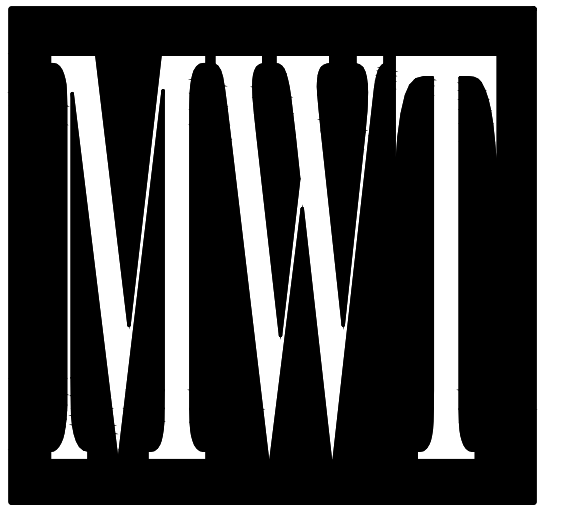
DEMOLITION NOTE: Examine the proposed design and structural demolition documents before starting the demolition of the existing exterior perimeter walls. Any demolition of the exterior wall must be done carefully that results in a relatively clean and smooth surface and to maintain the structural integrity of the remaining walls.

- Maintain the existing exterior concrete and masonry perimeter walls, including the concrete spandrels as well as existing window openings as per the structural documents. Where the structural integrity of the existing walls are in question or the walls and/or spandrels are substantially damaged, contact the structural engineer immediately.
- Install the metal steel studs with deflection runner under the slab. Fill the stud cavity with batt insulation. Where the existing wall is thicker below the window, install hat channel furring to anchor the gypsum board and align with the gypsum board above.
- Notify the architect if there is any conflict between the inside finished wall at the exterior perimeter and the new furniture or millwork.
- See architectural specifications for patch and repair the existing concrete masonry.
- Install vertical metal furring, exterior sheathing, weather barrier and EFIS system on the exterior surface of the existing perimeter of the building. Anchor the furring to the concrete or masonry wall to withstand the wind uplift load prescribed by the engineer.
- Remove the portion of the spandrel to install the Plac units per structural engineers instructions.
- Fill out the open pockets of the masonry walls with metal studs, filled with batt insulation.
- Windows: Patch & Repair the existing window openings to receive the new window system. Install galvanized metal angle at the exterior corner of the existing wall to anchor the window framing.

IMPORTANT NOTICE TO ALL CONTRACTORS AND OR SUBCONTRACTORS: (COMPLETE BUILDING SYSTEMS AND OR INSTALLATIONS)

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- YOU ARE A QUALIFIED CONTRACTOR AND OR SUBCONTRACTOR SPECIFICALLY IN PROVIDING A COMPLETE TURNKEY SERVICE IN YOUR TRADE OR PROFESSION FOR THE TYPE OF WORK AND SCOPE FOR THIS PROJECT.
- YOU AGREE TO PROVIDE A COMPLETE DESIGN BUILD SOLUTION BASED ON THE ARCHITECT'S INTENDED DESIGN FOR THIS PROJECT.
- YOUR BID INCLUDES ALL THE STEPS, PROCESSES, MATERIALS, PRODUCTS, GOVERNING PERMITS AND APPROVALS NECESSARY TO PROVIDE A COMPLETED AND WARRANTED SYSTEM OR INSTALLATION THAT DOES NOT REQUIRE ANOTHER CONTRACTOR OR PRODUCT TO COMPLETE YOUR SCOPE OF WORK.
- YOUR BID MUST HAVE INCLUDED ANY DESIGN INFORMATION REFERENCED WITHIN ANY CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND OR PLUMBING DRAWINGS; ALSO NOTE THESE DRAWINGS ARE SCHEMATIC AND ARE INTENDED TO SHOW ONLY BASIC CONCEPTS AND GENERAL INFORMATION. THE COMPLETION OF YOUR WORK MAY INCLUDE OTHER STEPS, PROCESSES, MATERIALS, PRODUCTS, LABOR, GOVERNING PERMITS AND OR APPROVALS NECESSARY TO PROVIDE A COMPLETE SYSTEM INSTALLATION WITHIN THE SUGGESTED ON THE DRAWINGS OR NOT.
- AS AN EXAMPLE: ITEMS AND OR TASKS LIKE: FIRE CAULK, DRAFT STOPS, FASTENERS, ANCHORS, EMBEDMENTS, DIAPHRAGMS, DEBRIS CLEAN UP, ETC. ARE YOUR RESPONSIBILITY. ANY WORK NOT COMPLETED IN A TIMELY MANNER, OR INCOMPLETE WORK WILL BE BELLED BACK TO THE CONTRACTOR AND OR SUBCONTRACTOR, AT THE OWNERS' DISCRETION.



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ALOFT MEMPHIS DOWNTOWN

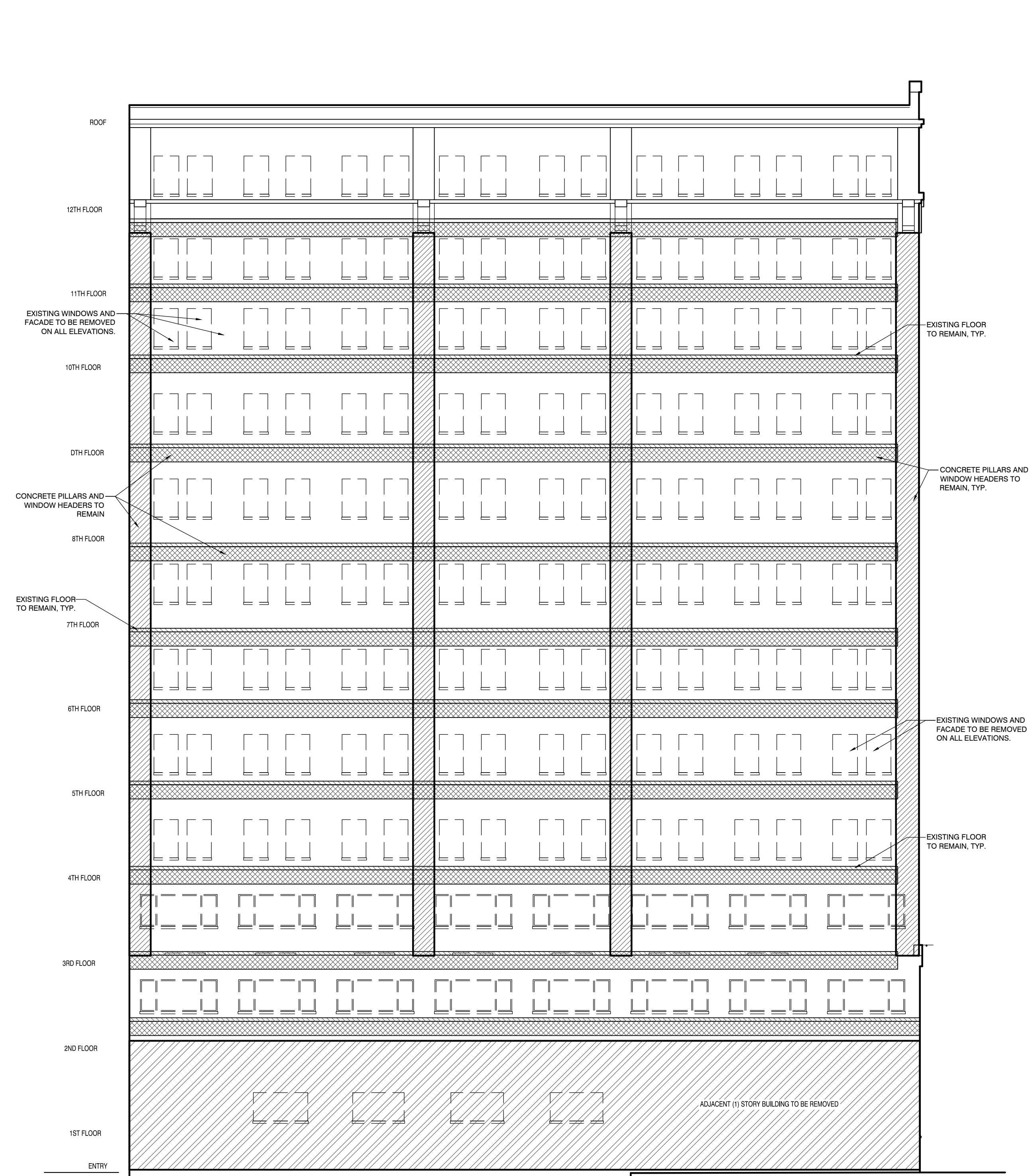
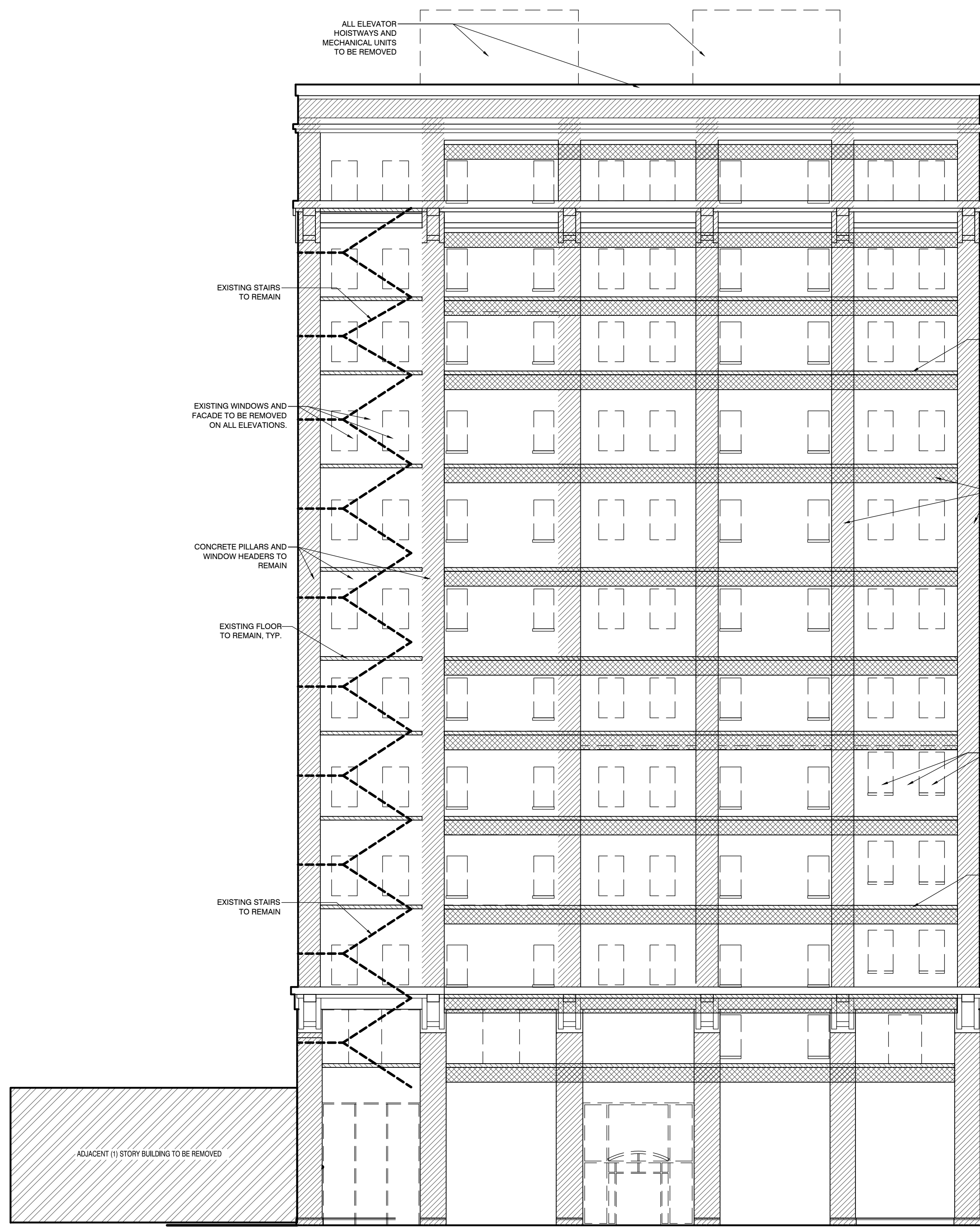
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PROJECT NO.: 16 006
DATE: 8-4-2017
DRAWN BY: RS, BS, MV, AN
CHKD. BY: MWT

DEMOLITION PLAN-GUEST FLR & ROOF

SHEET D103

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-	RE-ISSUED FOR PERMIT	03/07/18	AN
-	REV. DETAILS ON A700.2	06/04/18	AVK
1	REV. 90% REVIEW COMMENTS	04/24/19	AVK



1 NORTH ELEVATION DEMOLITION PLAN
SCALE : 3/32" = 1'-0"

2 EAST ELEVATION DEMOLITION PLAN
SCALE : 3/32" = 1'-0"

Aloft, Memphis - Notes for Exterior Walls:

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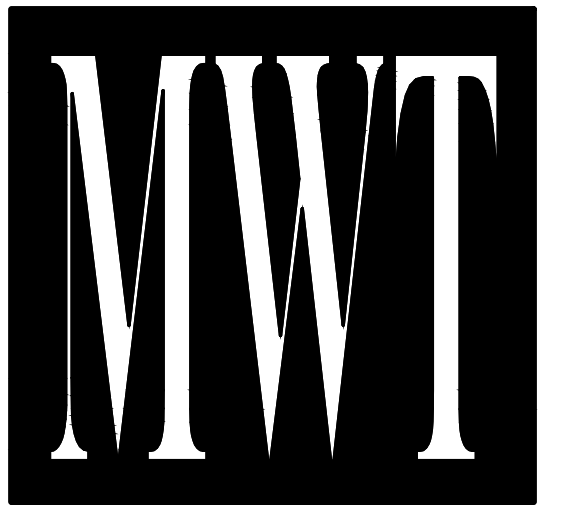
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- CONTRACTOR TO CAP EXISTING UTILITY STUB OUTS.
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PROJECT NO.: 16 006
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CHKD. BY: MWT

DEMOLITION ELEVATIONS

SHEET **D200**